

COMMONWEALTH OF VIRGINIA  
**COUNTY OF HENRICO**



R. Joseph Emerson, Jr., AICP  
Director of Planning  
(804) 501-4602

July 11, 2022

Townes Site Engineering  
c/o Zachary Wilkins  
1 Park West Circle, Suite 108  
Midlothian, VA 23114

Quality Investment Property Richmond, LLC  
c/o Sarah Blue  
12851 Foster Street, Suite 205  
Overland Park, KS 66213

RE: POD2022-00345  
QTS Tract 9 Master Plan  
**POD/Master Plan**  
Original Plan Review Comments I

Sir/Madame:

The Planning Department has completed its review of the above-referenced plans, June 23, 2022, and has the following comments:

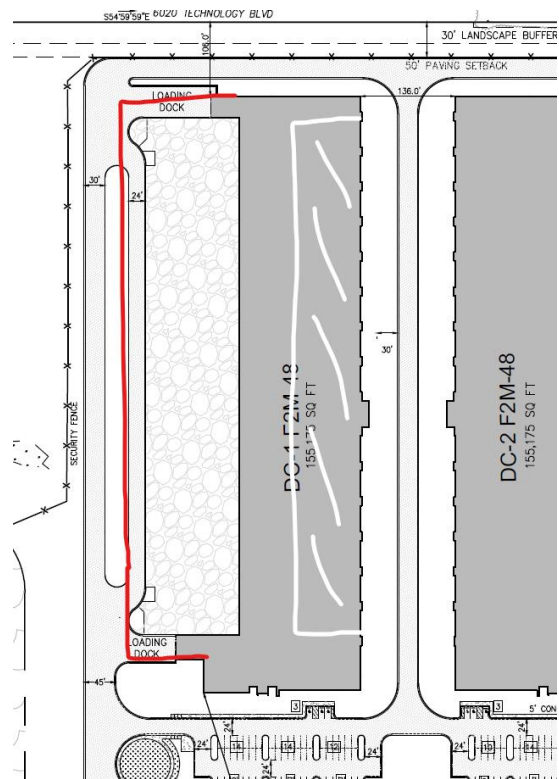
❖ POD/Master Plan Approval: The following items must be addressed prior to approval of the plan:

1. General
2. The White Oak Technology Park Design Review Board (DRB) must grant Conceptual and Preliminary approval prior to approval by the Director of Planning.
3. After the POD/Master Plan is approved by the Director of Planning, then the next submittal are those under a Minor Site plan with commentary that the proposed buildings continue to be the same as those reviewed and approved with this Master Plan.

❖ DRB related issues:

1. Label the 50' paving, and 30' landscape buffer along the western property line.
  - Should not be an issue to address.
2. Confirm the extent of grading that will be required to accommodate this design. The last review of plans for this site required grading within the 50' paving setback that specifically requires DRB consent.
  - IF this is required, please make this request in writing along with more detailed plans that depict just how grading is required.
3. Guidelines Section E 4 - Evaluate incorporating the wet pond into the overall Ceremonial Entrance requirement.
  - The proposed ceremonial entrance in general needs to be enhanced.
  - Once prepared, staff will require a brief summary of the items that this Ceremonial Entrance will bring to the site.
4. All fence details must be received so that the DRB can review and approve them as required.

5. Section 7.10 requires that all loading docks are screened from view. It does not appear that any screen walls are proposed which needs to be address.
6. Guidelines Section K 1 require that loading docks are in the rear of a building unless otherwise approved by the DRB with mitigating factors such as the provision of landscaping, berming etc.,
  - Please make this a specific request of the DRB. I would imagine that this will be evaluated in conjunction with how Section 7.10 screening requirements are met.
7. Guidelines Section E 7 – Requires pedestrian circulation and this appears to be lacking. Sidewalks should connect all three buildings, the open space on the other side of the parking areas and the ceremonial entrance.
  - Submit a revised drawing.
8. Confirm that no grades are proposed that are greater than 3:1.
9. Confirm that no buildings propose an exterior glazing of greater than 20%.
10. As was agreed to with Project Isaac, the extent of streetscape (landscaping and lighting) improvements along Portugee Road are limited to the portion that is improved with these plans i.e. the turn lane.
  - Please make this request of staff in writing for documentation purposes.
11. Upon the review of more detailed plans, additional items may be required to be asked of the DRB.
12. Non DRB related issues:
13. Loading areas must be screened from public view by material to match the building. Code Section 24-5311.
  - How will this be achieved?
14. The mechanical area associated with DC-1-F2M-48 need to be screened from ROW and adjacent properties. This is different from what the Design Guidelines and Covenants require.
  - Code Section 24-5311. How will this be achieved?
  - Any thoughts to flipping the orientation so that the mechanical area would be facing the building of DC-2 F2M-48 rather than the BMP and adjacent properties?
15. Data Center parking is now established in our Zoning Ordinance at 2 spaces per 1,000 sq ft of office space. Please adjust the calculations to meet this new Code requirement.
  - IF this presents a logistical issue in terms of providing spaces, then staff will revert to the parking analysis as provided on the cover sheet.
16. Provide a rendering or shop drawings of the proposed security fencing and any other proposed fencing. This must include appearance, colors and materials proposed.
17. How will the perimeter fencing be installed along Portugee Road to ensure that the maximum amount of tree save, and tree retention is observed?
18. How will the phasing of the development of the site occur?



19. The Zoning Ordinance requires that 5 loading spaces per building are provided. Please provide written confirmation that the site is designed to accommodate the loading and unloading of at least five vehicles at a time.
20. Ensure that the proposed BMP pond has at least one fountain for visual (and other) purposes.
21. Does the easternmost parking in front of DC3 F2M-48 need to be adjusted so that the required landscaping and buffers are required at this pinch point?

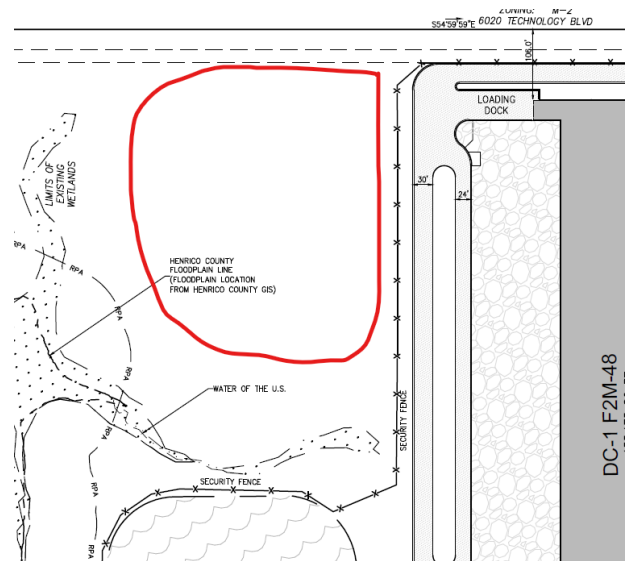
❖ Elevations

1. General
2. Label the principal building material of the guard building.
3. What color is the resulting sand blasted concrete?
4. Rear tower.
  - How tall?
  - What is the purpose of this rear tower?
  - This is more for documentation purposes.
5. Confirm that the roof mounted screen wall will screen all roof mounted HVAC units and mechanical equipment from ground view.
6. Identify the location and screening of any HVAC or mechanical units for the guardhouse.
7. Provide a brief description from the architect on how they view the proposed buildings, its appearance, material used etc.
  - Is there a particular type of aesthetic desired?
  - This is more for documentation purposes.

❖ **Planning Department Comments** – The following Planning comments must be addressed prior to final approval of construction plans:

1. General
2. 10% Tree Canopy requirements must be met.
3. 35% of the proposed plantings must be native species.
4. 5% Greenspace requirements must be met. The figure is the total square footage of all parking spaces and the drive aisles.
5. Foundation plantings are required to be provided. 3 shrubs per 10' of linear frontage facing Portugee road.
6. Is any additional mode of transportation or access contemplated between this site and the adjacent QTS or Meta sites? Perhaps a path for electrical bicycles or golf carts?
7. Ensure that if the parcel is subdivided that each building meets the required setbacks, and Open Space at the time this is proposed.
8. A site lighting plan must be submitted with each Minor Site plan submittal.

9. C-02
  10. Label the height of the security fencing and the chain link fencing.
  11. Locate all type of fencing and identify any transition points.
  12. The area for the staging area should be relocated to the rear of the site so that the currently proposed area can be left untouched.
  13. Label the interior dimensions of the buildings.
  14. Ensure that the eastern most property line is at least 12.5 feet from the proposed curb cut to Portugee Road.
  15. Additional Planning comments will ensure upon the review of more details plans.
- ❖ See additional comments from other review agencies.



The above comments may be revised based upon discussions at the staff developer conference, scheduled for **July 14, 2022, at 1pm EST**. Revised plans and a written response to review comments must be received by **July 28, 2022**, in order to be considered prior to preparation of the **Director's Agenda**.

Sincerely,

Anthony Greulich  
County Planner

CC: Executive Director (Industrial Development Authority of the County of Henrico) via email